

**ITEM 6A**

**Development Permit  
Application No. P21-06110**



September 27, 2021

To the City of Fresno  
Planning & Development Department  
Development Partnership Center (DPC)  
2600 Fresno Street, 3<sup>rd</sup> Floor  
Fresno, CA 93721-3604

APPL. NO. P21-03293 EXHIBIT O-1 DATE 11/08/2021

PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

**CITY OF FRESNO DARM DEPT**

RE: Operational Statement for the Planning Submittal  
Of Building 31 Trailer Storage Lot  
Application No.: P21-03293

**Project Description:**

The Building 31 Trailer Storage Lot Project is being submitted by Yamabe & Horn Engineering, Inc. on behalf of G4 Enterprises, LTD., and pertains to approximately 15.1 acres of property located at the northeast corner of S. East Avenue and E. Central Avenue in Fresno, CA 93725, APN: 330-021-31. The site is currently zoned for Heavy Industrial use with a similar planned use. The proposed development will provide truck trailer storage for the user of Building 31, located to the north of the project site. Having this storage lot located adjacent to Building 31 will provide operational efficiency for that industrial user. The proposed development consists of the construction of approximately 494,328 square feet of Asphalt Concrete (AC) pavement, 314 truck trailer parking stalls, site drainage, site pole lighting, 7-foot high security fencing, and 2 security buildings. Other improvements also include curb, gutter, and sidewalk improvements along the project frontage on S. East Avenue and E. Central Avenue.

We have provided 10-12'x55' electric truck trailer parking stalls and 304-12'x55' truck trailer parking stalls. The proposed parking spaces and drive aisles will be constructed of asphalt concrete (AC) pavement.

The site will have pole lighting to illuminate the parking area. There will also be site drain inlets and piping facilities to drain onsite rainfall to existing storm drain facilities. The project is proposing to construct a 7-foot high security fence along the perimeter of the proposed site with vehicle access gates and security buildings at points of ingress and egress. There will be one point of ingress off of S. East Avenue, and two points of egress at S. East Avenue and E. Central Avenue. The proposed site will not produce excessive noise, glare, dust, or odor.

Operational times will be 24 hours a day, seven days a week. Traffic utilizing the parking lot will include trucks making deliveries to Building 31 (currently under construction) and minimal employee trips. The parking lot is intended to supplement activities occurring at Building 31, and all truck trips utilizing the parking lot were considered when Building 31 was approved. New employees generated by the project will be limited to approximately six new employees at the new guard shacks.

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**Yamabe & Horn Engineering, Inc.**

*CIVIL ENGINEERS • LAND SURVEYORS*

If you have any questions regarding our work, please feel free to call.

Sincerely,

Kenny Reyes, Project Manager

APPL. NO. P21-03293 EXHIBIT O-2 DATE 11/08/2021

PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

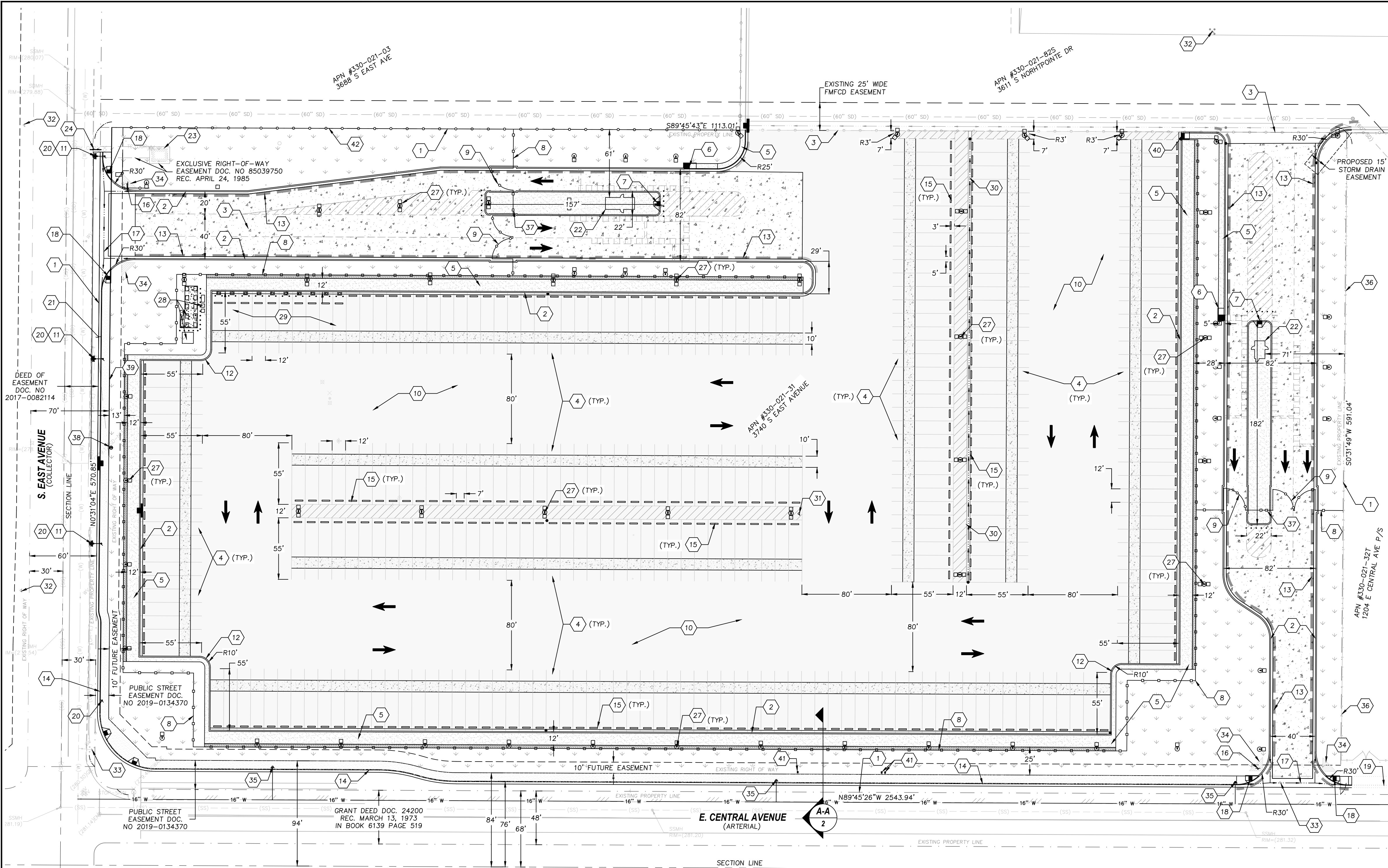
**CITY OF FRESNO DARM DEPT**

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2985 North Burl Ave., Suite 101 • Fresno, CA 93727 • P: 559.244.3123 • F: 559.244.3120 • yandhengr.com

*"A committed team providing high quality engineering services for our clients and community."*

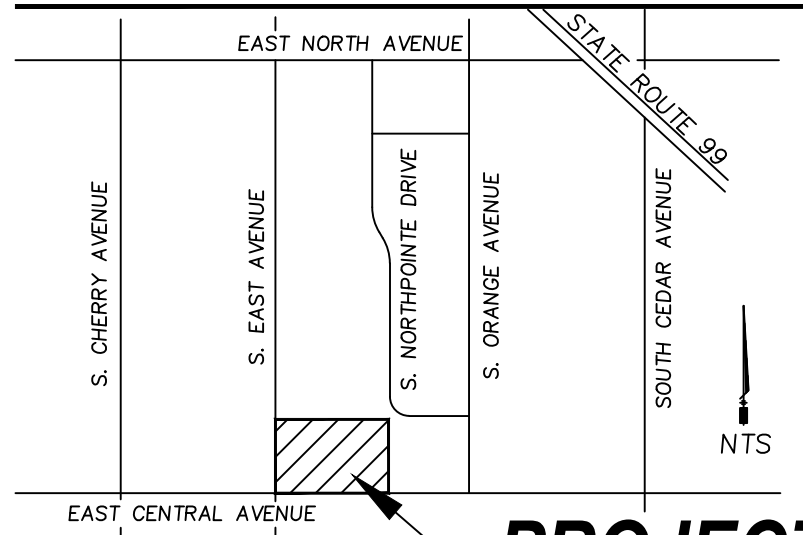




**SITE PLAN KEYNOTES:**

- |  |   |   |
|--|---|---|
| 1 EXISTING PROPERTY LINE   | 17 VALLEY GUTTER PER PW STD. P-10   | 35 PROPOSED PUBLIC FIRE HYDRANT PER PW STD. W-3                   |
| 2 PROPOSED 12" HIGH CURB AND GUTTER PER DETAIL G/2   | 18 CURB RAMP PER PW STD. P-29   | 36 EXISTING FENCE TO REMAIN                                       |
| 3 EXISTING FENCE TO BE REMOVED   | 19 FUTURE CURB AND GUTTER   | 37 INSTALL FIRE X1 BYPASS HARDWARE                                |
| 4 PROPOSED PARKING STALLS (TYP.)   | 20 PROPOSED ROAD SIGN   | 38 PROPOSED SANITARY SEWER P.O.C.                                 |
| 5 CONSTRUCT SIDEWALK PER SECTION 'A-A' ON SHEET 2  | 21 PROPOSED RIGHT-OF-WAY DEDICATION PER SEPARATE DOCUMENT                                 | 39 PROPOSED PROPERTY LINE   |
| 6 CONSTRUCT ONE END PARALLEL RAMP PER DETAIL B/2   | 22 PROPOSED GUARD SHACK   | 40 CONSTRUCT MODIFIED RAMP PER DETAIL A/2                         |
| 7 CONSTRUCT DIAGONAL CURB RAMP PER DETAIL PW STD. P-28   | 23 EXISTING UTILITY BUILDING TO REMAIN  | 41 PROPOSED WATER METER OR CHECK VALVE PER SEPARATE UTILITY PLAN. |
| 8 PROPOSED 7" HIGH WROUGHT IRON SECURITY FENCE   | 24 TIMBER BARRICADE PER PW STD. P-100   | 42 PROPOSED CHAIN LINK FENCE                                      |
| 9 PROPOSED SWING GATE  | 25 NOT USED   |   |
| 10 CONSTRUCT EMPLOYEE-ONLY PARKING PER PW STD. P-21, P-22, AND P-23  | 26 NOT USED   |   |
| 11 PROPOSED STREET LIGHT   | 27 PROPOSED SITE LIGHTING. SEE ELECTRICAL PLANS (TYP.)                                    |   |
| 12 PROPOSED 12" HIGH CURB PER DETAIL F/2   | 28 PROPOSED ELECTRICAL TRANSFORMER AND PEDESTAL, MAIN SWITCHBOARD, AND DISTRIBUTION PANEL |   |
| 13 RED PAINTED CURB WITH "NO PARKING FIRE LANE" IN 3" WHITE LETTERS EVERY 50". IF NO CURB IS PRESENT, A MINIMUM 6" WIDE RED STRIPE SHALL BE PAINTED ALONG THE EDGE OF THE ROADWAY WITH "FIRE LANE" IN 3" WHITE LETTERS EVERY 50". THE SITE PLAN MARKUP PROVIDED BY THE FIRE DEPARTMENT SHOWS WHERE REQUIRED FIRE LANES NEED TO BE SHOWN. | 29 PROPOSED & FUTURE ELECTRICAL VEHICLE PARKING STALLS WITH VEHICLE CHARGER.              |   |
| 14 PROPOSED CURB, GUTTER, AND SIDEWALK PER PW STD. P-5   | 30 PROPOSED CONCRETE VALLEY GUTTER  |   |
| 15 PROPOSED WHEELSTOP  | 31 PROPOSED PRIVATE FIRE HYDRANT  |   |
| 16 INSTALL STOP SIGN   | 32 EXISTING FIRE HYDRANT TO REMAIN  |   |
|  | 33 EXISTING FIRE HYDRANT TO BE REMOVED OR RELOCATED                                       |   |
|  | 34 12' TRIANGLE OF VISIBILITY, TYPICAL  |   |

**VICINITY MAP:**



**PROJECT  
LOCATION**

**SITE PLAN NOTES:**

- PROVIDE SIGN(S) (17" x 22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE "WARNING - VEHICLES STOPPED, PARKED, OR LEFT STANDING IN FIRE LANES WILL IMMEDIATELY BE REMOVED AT OWNER'S EXPENSE - 22658(A) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 621-2300".
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS, WITHIN THE EASEMENT, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

**PARCEL NOTE:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 14 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLATS APPROVED BY THE SURVEYOR GENERAL ON JANUARY 15, 1854.  
EXCEPTING THEREFROM THAT PORTION AS GRANTED TO THE COUNTY OF FRESNO, A POLITICAL SUBDIVISION BY GRANT DEED RECORDED MARCH 13, 1973 IN BOOK 6139, PAGE 516, FRESNO COUNTY RECORDS.  
ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT, A CALIFORNIA PUBLIC CORPORATION, BY DEED RECORDED SEPTEMBER 7, 2001, DOCUMENT NO. 2001-0129429, OFFICIAL RECORDS.

**PAVEMENT SECTION:**

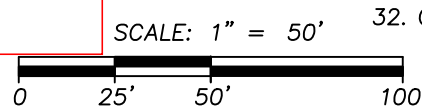
- |  |  |
|--|--|
|  | PROPOSED PAVEMENT SECTION (T.I.=9.0, R=43) 5.5" AC (TYPE "B") 9" AB (CLASS II) @ 95% MIN. REL. COMP. 12" C.N.S. @ 95% MIN. REL. COMP.    |
|  | PROPOSED PCC PAVEMENT SECTION 4" PCC MIN. COMP. STRENGTH OF 4,000 PSI 4" AB (CLASS II) @ 95% MIN. REL. COMP. 12" C.N.S. @ 95% REL. COMP. |
|  | PROPOSED GRAVEL STRIP 4" #57 STONE OVER FILTER FABRIC  |
|  | PROPOSED LANDSCAPE SECTION PER SEPARATE LANDSCAPE PLANS  |

**SITE INFORMATION:**

ADDRESS: 3740 SOUTH EAST AVENUE  
FRESNO, CA 93725  
ZONING: IH-HHEAVY INDUSTRIAL  
PLANNED LAND USE: IH-HHEAVY INDUSTRIAL  
APN: 330-02-131  
ACREAGE: ±15.1 ACRES  
PARKING DATA: PARKING SPACES PROPOSED = 314, 12'X55'

APPL. NO. P21-03293	EXHIBIT A-1	DATE 11/08/2021
PLANNING REVIEW BY		DATE
TRAFFIC ENG.		DATE
APPROVED BY		DATE

**CITY OF FRESNO DARM DEPT**

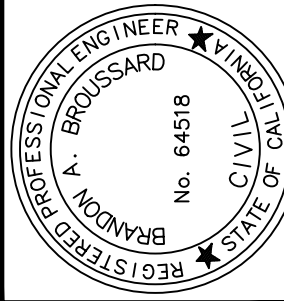
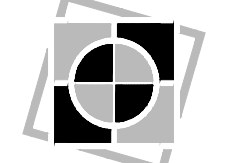


**SITE PLAN NOTES:**

- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED, AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT. THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT. UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO OPERATE IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETION OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT; [HTTP://WWW.FRESNO.GOV/GOVERNMENT/DEPARTMENTS/DIRECTORY/PUBLICWORKS/DEVELOPMENT/DOORWAY/TECHNICAL-LIBRARY/STANDARDS/SPECIFICATIONS-AND-DRAWINGS.HTM](http://www.fresno.gov/government/departmentsdirectory/publicworks/development/development/technical-library/standards/specifications-and-drawings.htm)
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.
- OWNERS AND PERSONS HAVING OWNERSHIP INTEREST IN BUSINESSES OPERATING IN THE CITY OF FRESNO (INCLUDING LEASING OUT ANY COMMERCIAL OR INDUSTRIAL PROPERTY, OR RENTING OUT FOUR OR MORE DWELLING UNITS) ARE REQUIRED BY THE FRESNO MUNICIPAL CODE TO OBTAIN A BUSINESS TAX CERTIFICATE. CONTACT THE CITY OF FRESNO FINANCE DEPARTMENT'S BUSINESS TAX DIVISION AT (559) 621-6580 FOR MORE INFORMATION AND APPLICATION FORM. THE APPLICATION SHALL BE PERFORMED IN THE FOLLOWING WEBSITE: [HTTP://WWW.FRESNO.GOV/GOVERNMENT/DEPARTMENTS/DIRECTORY/FINANCE/BUSINESSLICENSEANDTAX/BUSINESSTAXAPPLICATION.HTM](http://www.fresno.gov/government/departmentsdirectory/finance/businesslicenseandtax/business-tax-application.htm)
- ALL PROPOSED BUILDING(S) OR STRUCTURE(S) CONSTRUCTED ON THE PROPERTY MUST COMPLY WITH THE PREVAILING CALIFORNIA BUILDING CODE STANDARDS.
- ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT.
- FOR PROJECTS INITIATED IN RESPONSE TO CODE ENFORCEMENT ACTION, THE EXERCISE OF RIGHTS GRANTED BY THIS SPECIAL PERMIT MUST BE COMMENCED BY SIX MONTHS. COMPLETION OF THE PROJECT, INCLUDING IMPROVEMENTS, SHALL OCCUR BY 12 MONTHS. FENCES, WALLS, LANDSCAPING, PARKING.
- TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD, WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS. OF THE BUILDINGS, ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- PROVIDE SHADE CALCULATIONS ON THE LANDSCAPE PLAN FOR PARKING LOT SHADING IN ACCORDANCE WITH THE ATTACHED DEVELOPMENT DEPARTMENT, PERFORMANCE STANDARDS FOR PARKING LOT SHADING, INCLUDING TREE SPECIES AND TREE COUNTS.
- DISPERSE TREES OVER THE PARKING LOT AREA TO PROVIDE 50 PERCENT SHADING OF THE PARKING AREA SURFACE WITHIN 15 YEARS. (THIS REQUIREMENT MAY BE REDUCED TO 40 PERCENT FOR EXISTING DEVELOPMENT IF IT IS DEMONSTRATED THAT THE CONSTRAINTS OF AN EXISTING SITE WOULD MAKE IT IMPOSSIBLE TO MEET THE NORMAL STANDARDS.) TREES SHALL ALSO BE PLANTED IN THE REQUIRED LANDSCAPED AREA ALONG THE PERIPHERY OF THE DEVELOPMENT IN ORDER TO SHADE AND ENHANCE ADJACENT PROPERTY AND PUBLIC RIGHTS-OF-WAY. REFER TO THE ATTACHED PERFORMANCE STANDARDS FOR PARKING LOT SHADING, FOR THE TREE LIST AND FURTHER DETAILS.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPARTMENT.
- FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THAT ADEQUATE OFF-STREET PARKING IS PROVIDED.
- THE PARKING LOT DESIGN MUST ACCOMMODATE THE PROVISION OF TREES IN ACCORDANCE WITH THE PARKING LOT SHADING POLICY.
- A MINIMUM NUMBER OF ACCESSIBLE PARKING STALLS ARE REQUIRED FOR THE PROPOSED PROJECT PER STATE OF CALIFORNIA BUILDING CODE, "DEVELOPMENT REQUIREMENTS FOR ACCESSIBILITY".
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS. DEPICT ALL PROPOSED LIGHTS ON THE SITE PLAN.
- BICYCLE PARKING SPACES SHALL BE SUPPLIED AT A RATE OF 10% OF THE AUTOMOBILE SPACES PROVIDED PURSUANT TO SECTION 12-306-I-2.10 OF THE FRESNO MUNICIPAL CODE (FMC). BICYCLE PARKING SPACES SHALL EACH CONSIST OF ONE SLOT IN A BIKE RACK. THEY SHALL BE GROUPED IN RACKS WHICH ALLOW FOUR FEET OF CLEARANCE ON ALL SIDES. THERE SHALL BE ADEQUATE SPACE BETWEEN RACK SLOTS TO PARK, LOCK, AND REMOVE BICYCLES. BICYCLE PARKING SPACES AND THE REQUIRED FOUR-FOOT CLEARANCE SHALL BE PROTECTED FROM MOTOR VEHICLE ENCROACHMENT BY MEANS OF FIXED BARRIERS NOT LESS THAN SIX INCHES OR MORE THAN THREE IN HEIGHT. BICYCLE PARKING SPACES SHALL NOT ENCRUCH INTO PEDESTRIAN WAYS, LANDSCAPED AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMAL TO STRUCTURES.
- ALL GENERAL PROVISIONS OF SECTION 12-306-I OF THE FMC SHALL APPLY TO ALL PARKING AREAS. [HTTP://2.LIBRARY.MUCOR.CH12LAUSPLZ0.ART3GEOCORP20\\_S12-306PRODEST CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS](http://2.library.mucor.ch12lausplz0.art3geocorp20_s12-306prodest CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS)
- ALL ON-SITE LIGHTING SHALL COMPLY WITH SECTION 15-2015-B OF THE FRESNO MUNICIPAL CODE (FMC).
- PROVIDE SIGN(S) (17"x22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE "WARNING - VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 22658(A) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 621-2300".
- URNS IN PRIVATE DRIVES FOR FIRE APPARATUS ACCESS SHALL HAVE A MINIMUM 44 FOOT CENTERLINE TURN RADIUS. THE TURNS SHOWN ON THE PLAN ARE NOT MET AS DRAWN IN.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 844-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PERSEVERATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- CABLE PORTIONS OF THE CALIFORNIA BUILDING CODE 2019 (CBC 2016).

Ref. & Rev.

**Yamabe & Horn  
Engineering, Inc.**  
CIVIL ENGINEERS • LAND SURVEYORS



**BUILDING 31 TRAILER STORAGE LOT  
3740 SOUTH EAST AVENUE, 330-021-31**

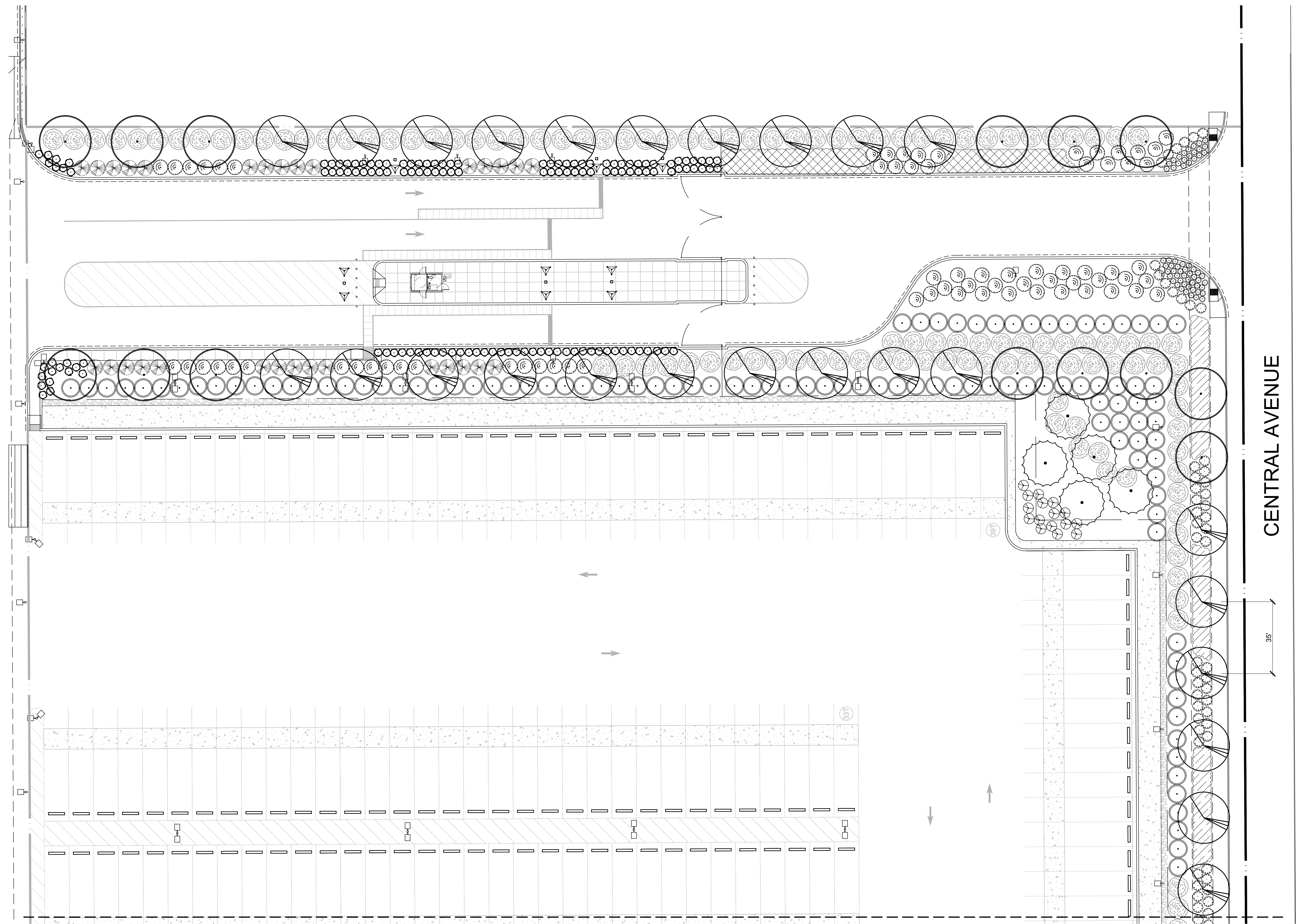
**SITE PLAN  
DEVELOPMENT PERMIT**

PROJECT TITLE	SHEET DESCRIPTION
Dr. By: YH	
Ch. By: KR	
Date: 09/27/2021	
Scale: As Noted	
YH Job No. 20-171	
Sheet No. 1	
of 2 Sheets	



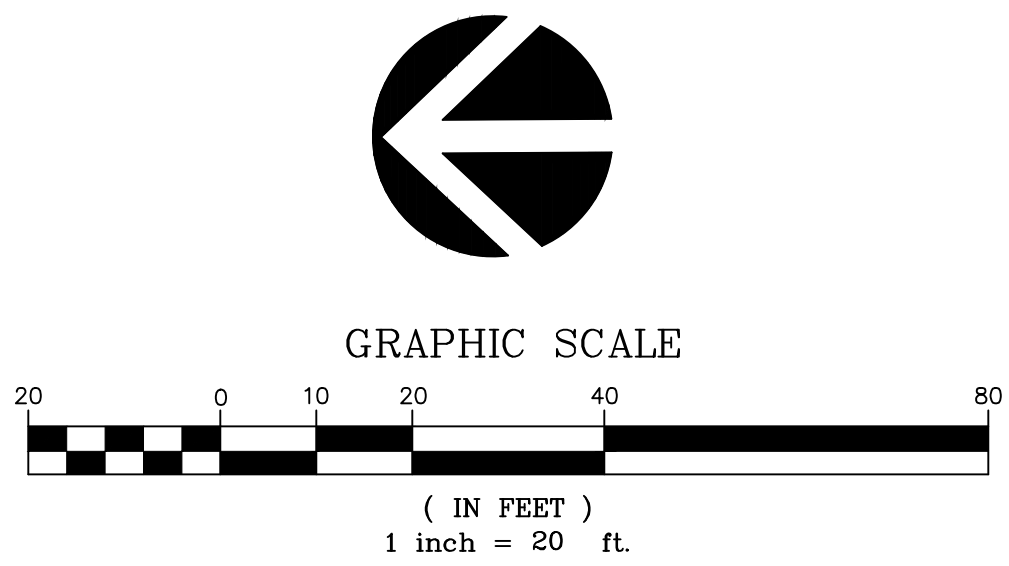
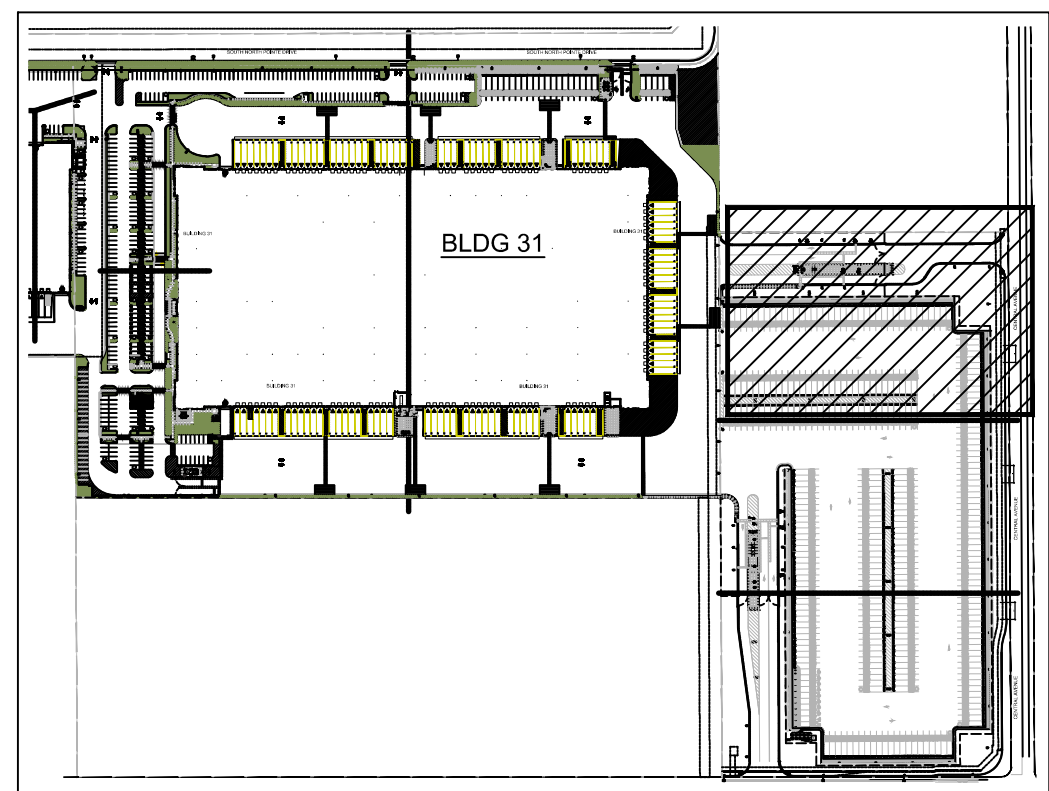






MATCHLINE SEE SHEET L-2.2

APPL. NO. P21-03293 EXHIBIT L-7 DATE 11/08/2021  
PLANNING REVIEW BY DATE  
TRAFFIC ENG. DATE  
APPROVED BY DATE  
CITY OF FRESNO DARM DEPT



REFER TO SHEET L-2.0 FOR PLANT LEGEND, NOTES AND DETAILS.



**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interior design  
graphics  
site development  
2400 camino ramon suite 390  
san ramon, california 94583  
tel: 925.344.9221  
fax: 925.344.9021

**PROJECT HECK**  
S. EAST AVE. & E. CENTRAL AVE.  
FRESNO, CALIFORNIA

PLANTING PLAN

DATE	REMARKS	DATE	REMARKS
04/08/2021	DEVELOPMENT SUBMITTAL		
05/08/2021	INITIAL PRE-APPLICATION SUBMITTAL		

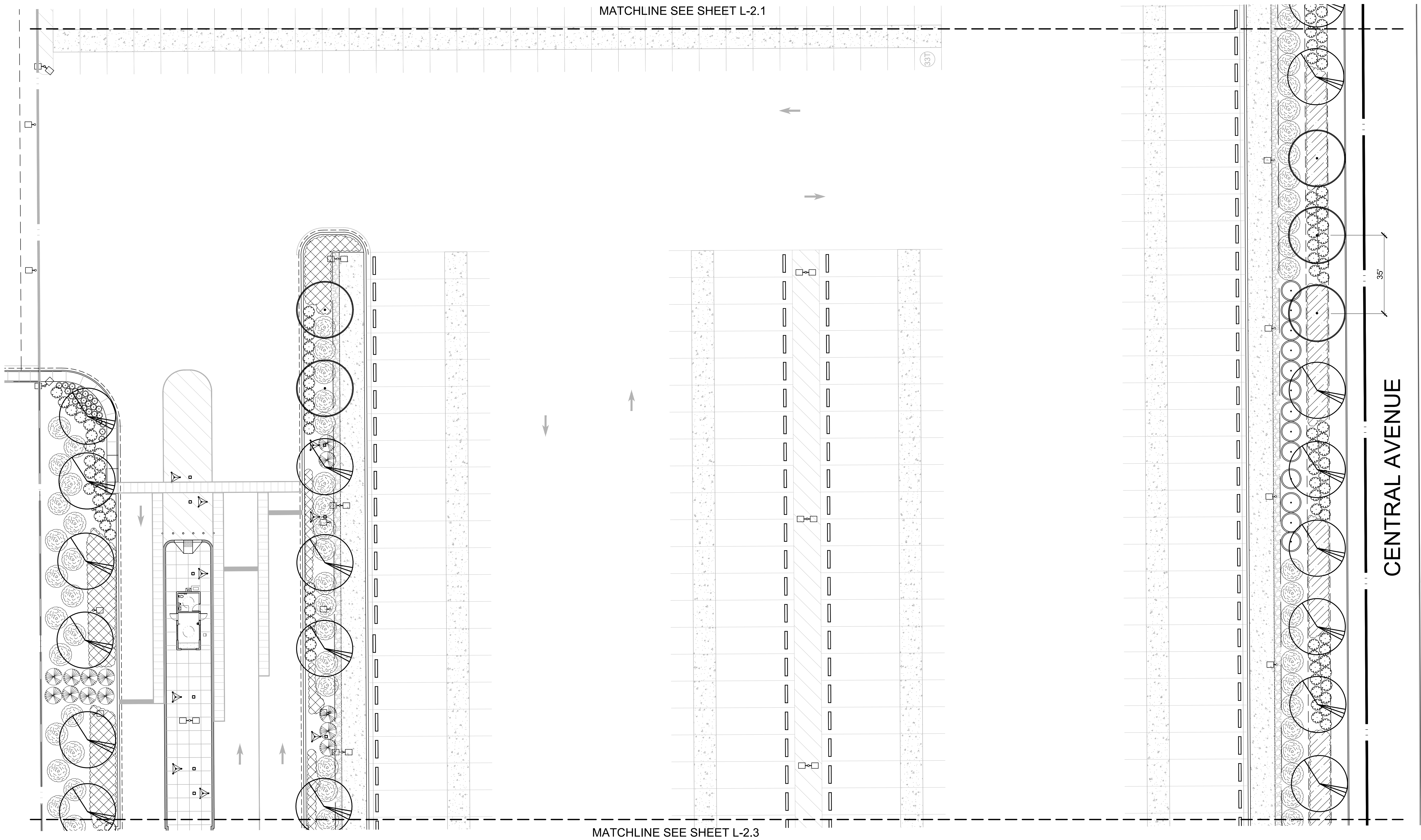
PA / PM: J.B.  
DRAWN BY:  
JOB NO.: SNR17-0048-00

SHEET

L-2.1

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

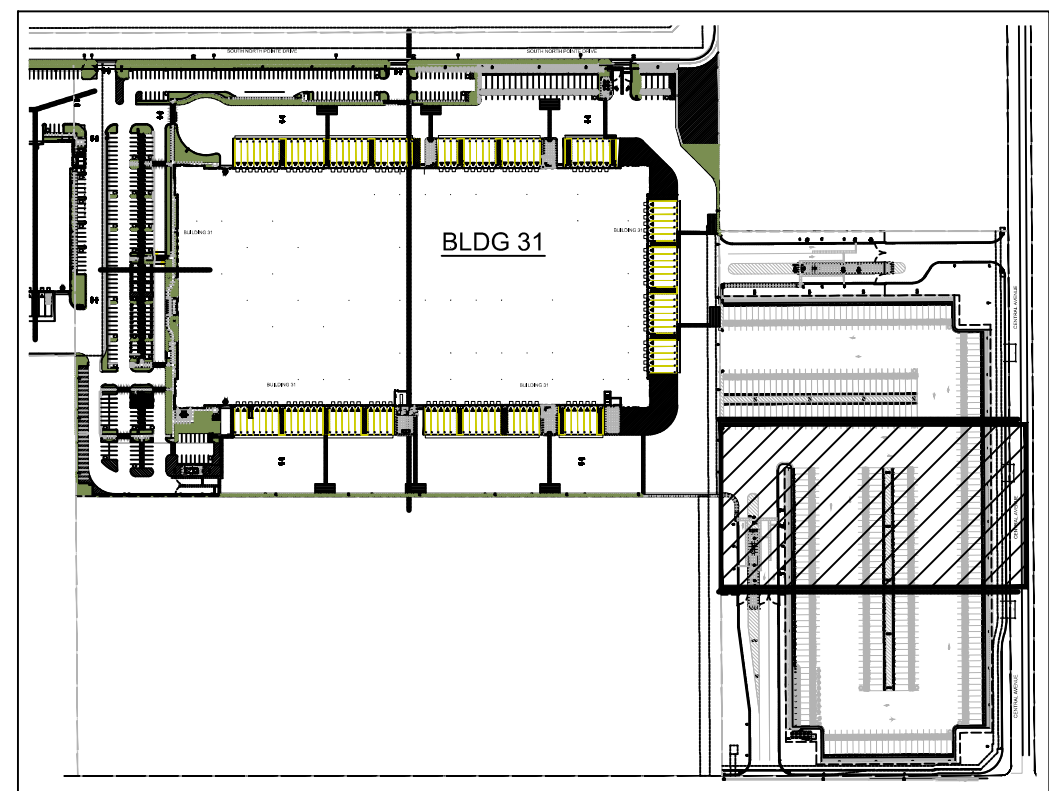




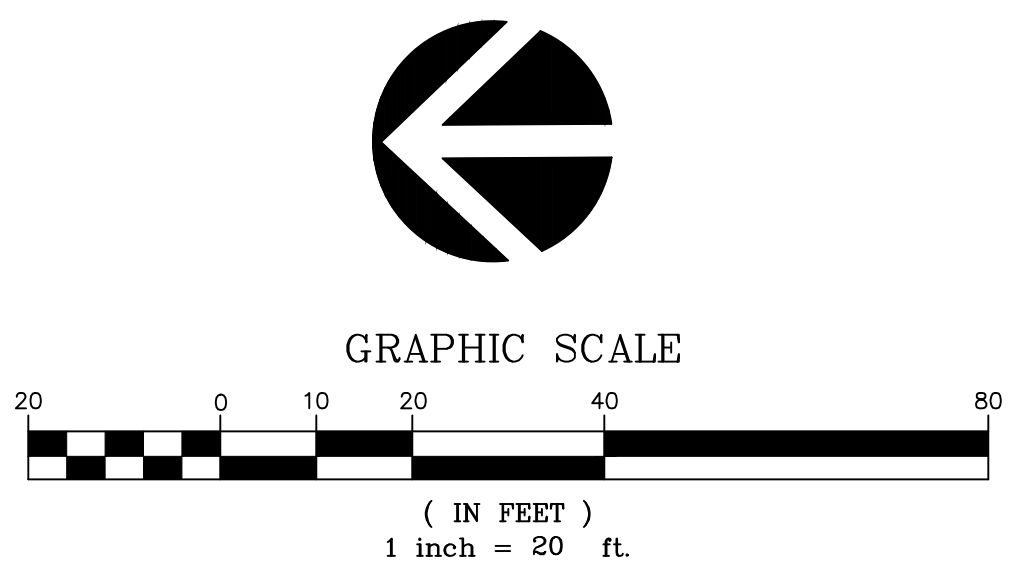
MATCHLINE SEE SHEET L-2.1

MATCHLINE SEE SHEET L-2.3

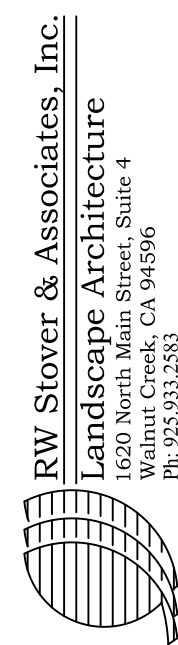
APPL. NO. P21-03293 EXHIBIT L-8 DATE 11/08/2021  
PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF FRESNO DARM DEPT



 SITE MAP



REFER TO SHEET L-2.0 FOR PLANT LEGEND, NOTES AND DETAILS.



PLANTING PLAN

DATE	REMARKS	DATE	REMARKS
04/07/2021	DEVELOPMENT SUBMITTAL		
05/08/2021	INITIAL PRE-APPLICATION SUBMITTAL		

PA / PM: \_\_\_\_\_ J.B. \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
JOB NO.: SNR17-0048-00

SHEET  
L-2.2

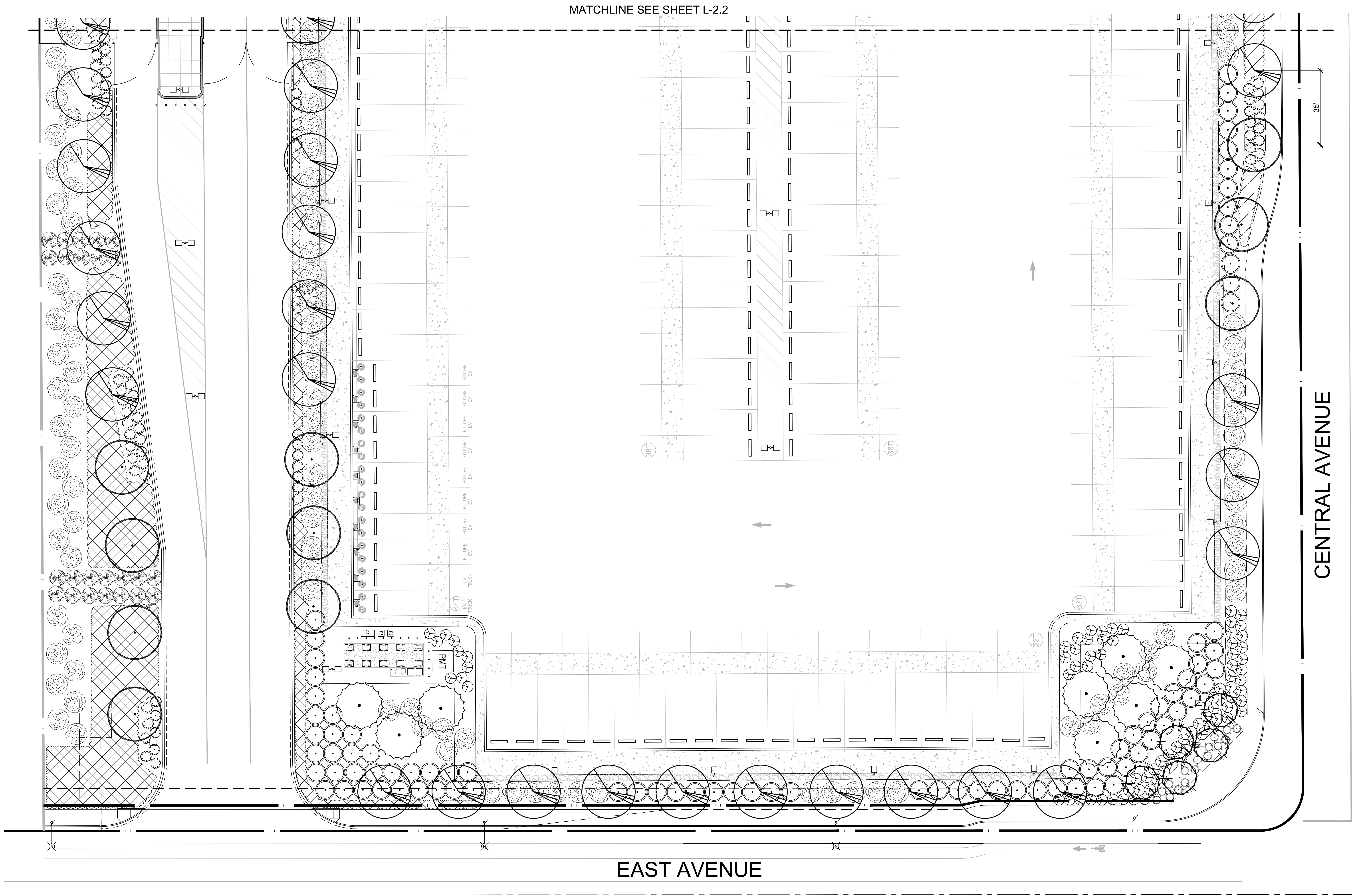
PROJECT HECK  
S. EAST AVE. & E. CENTRAL AVE.  
FRESNO, CALIFORNIA

architecture  
planning  
interior design  
graphics  
site development  
2400 camino ramon suite 390  
san ramon, california 94583  
phone: 925.344.9231  
fax: 925.344.9231

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Leading Design for Commercial Real Estate

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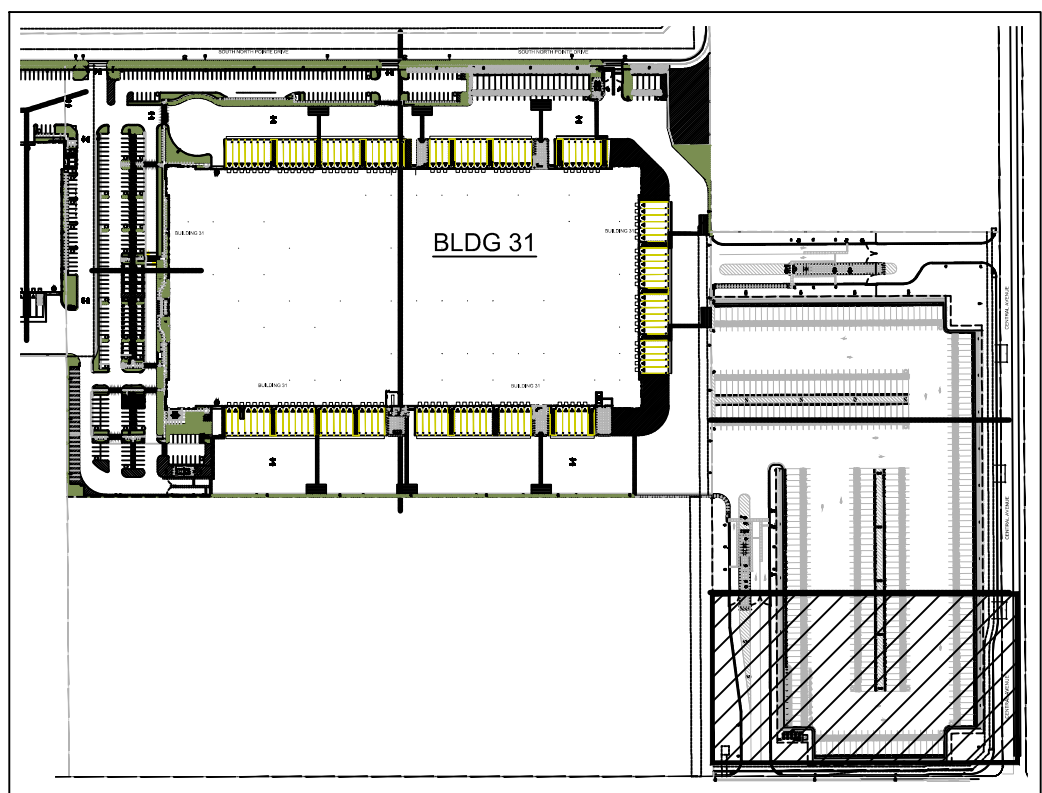


MATCHLINE SEE SHEET L-2.2

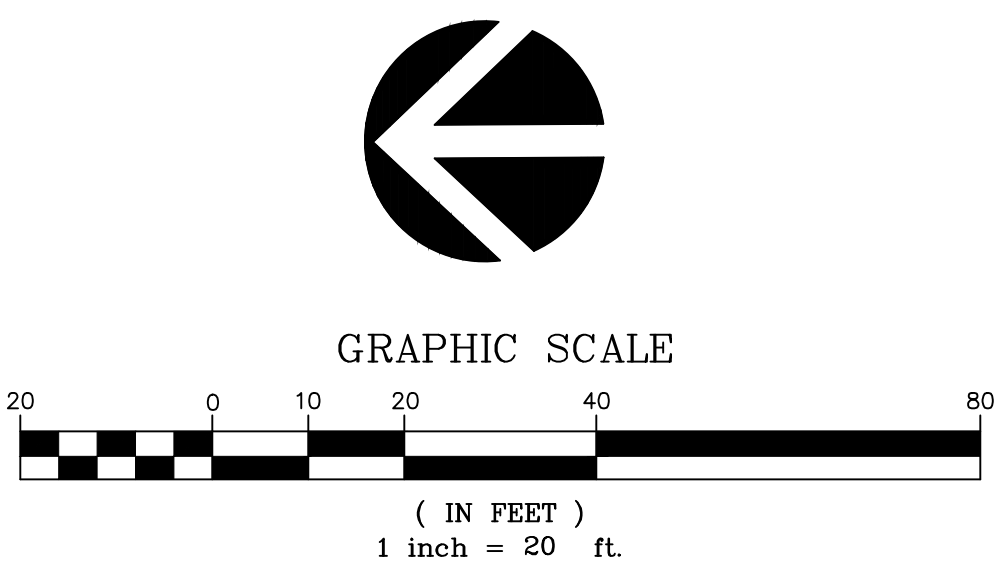
CENTRAL AVENUE

EAST AVENUE

APPL. NO. P21-03293 EXHIBIT L-9 DATE 11/08/2021  
PLANNING REVIEW BY DATE  
TRAFFIC ENG. DATE  
APPROVED BY DATE  
CITY OF FRESNO DARM DEPT



SITE MAP



REFER TO SHEET L-2.0 FOR PLANT LEGEND, NOTES AND DETAILS.

RW Stover & Associates, Inc.  
Landscape Architecture  
1020 North Main Street, Suite 4  
Fresno, CA 93706  
PH 555.431.2383

PLANTING PLAN

DATE	REMARKS	DATE	REMARKS
04/08/2021	DEVELOPMENT SUBMITTAL		
05/08/2021	INITIAL PRE-APPLICATION SUBMITTAL		

PA / PM:	J.B.
DRAWN BY:	
JOB NO.:	SNR17-0048-00

SHEET  
L-2.3

PROJECT HECK  
S. EAST AVE. & E. CENTRAL AVE.  
FRESNO, CALIFORNIA

architecture  
planning  
development  
graphics  
site development  
2400 camino ramon suite 390  
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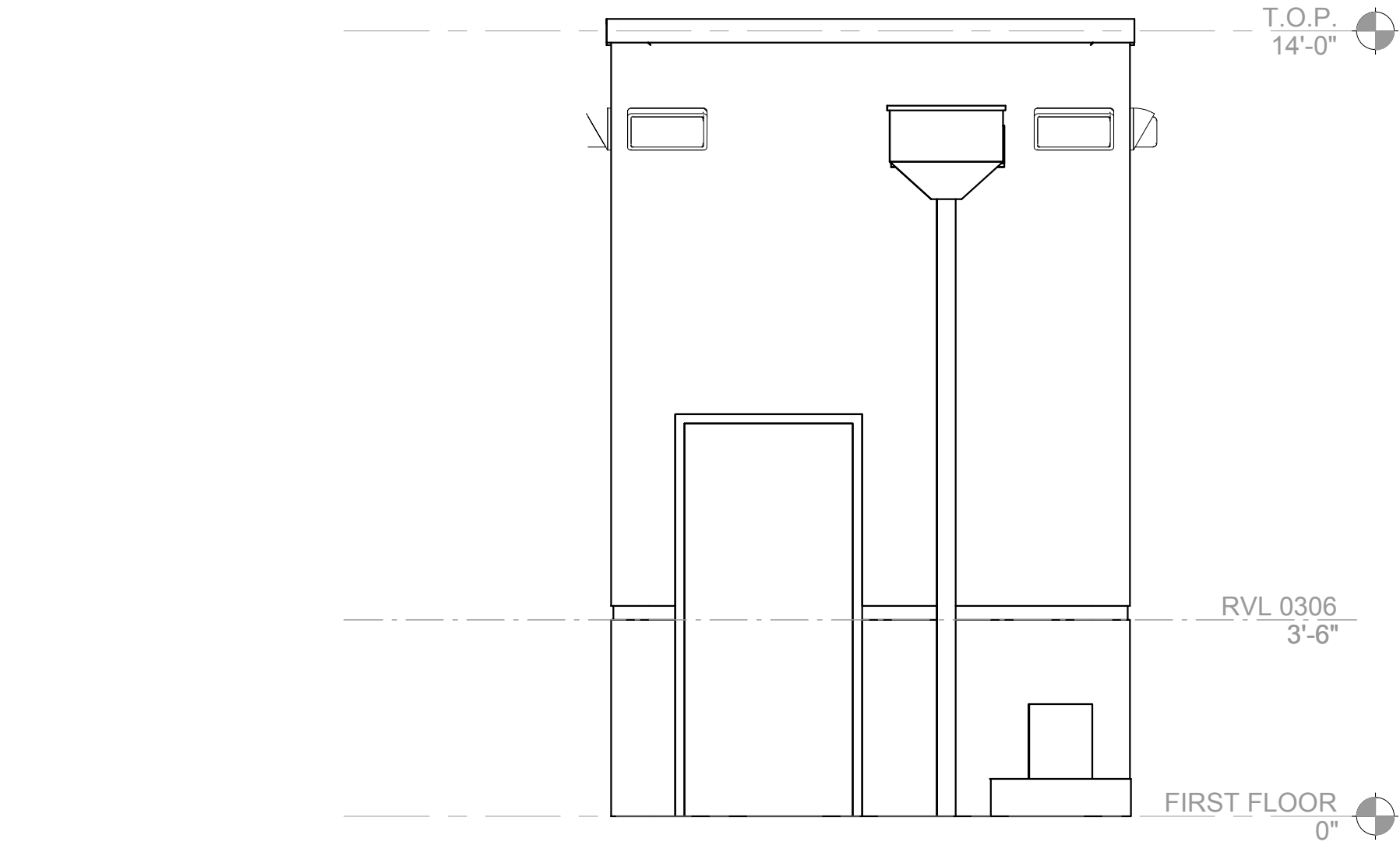


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NO SCALE

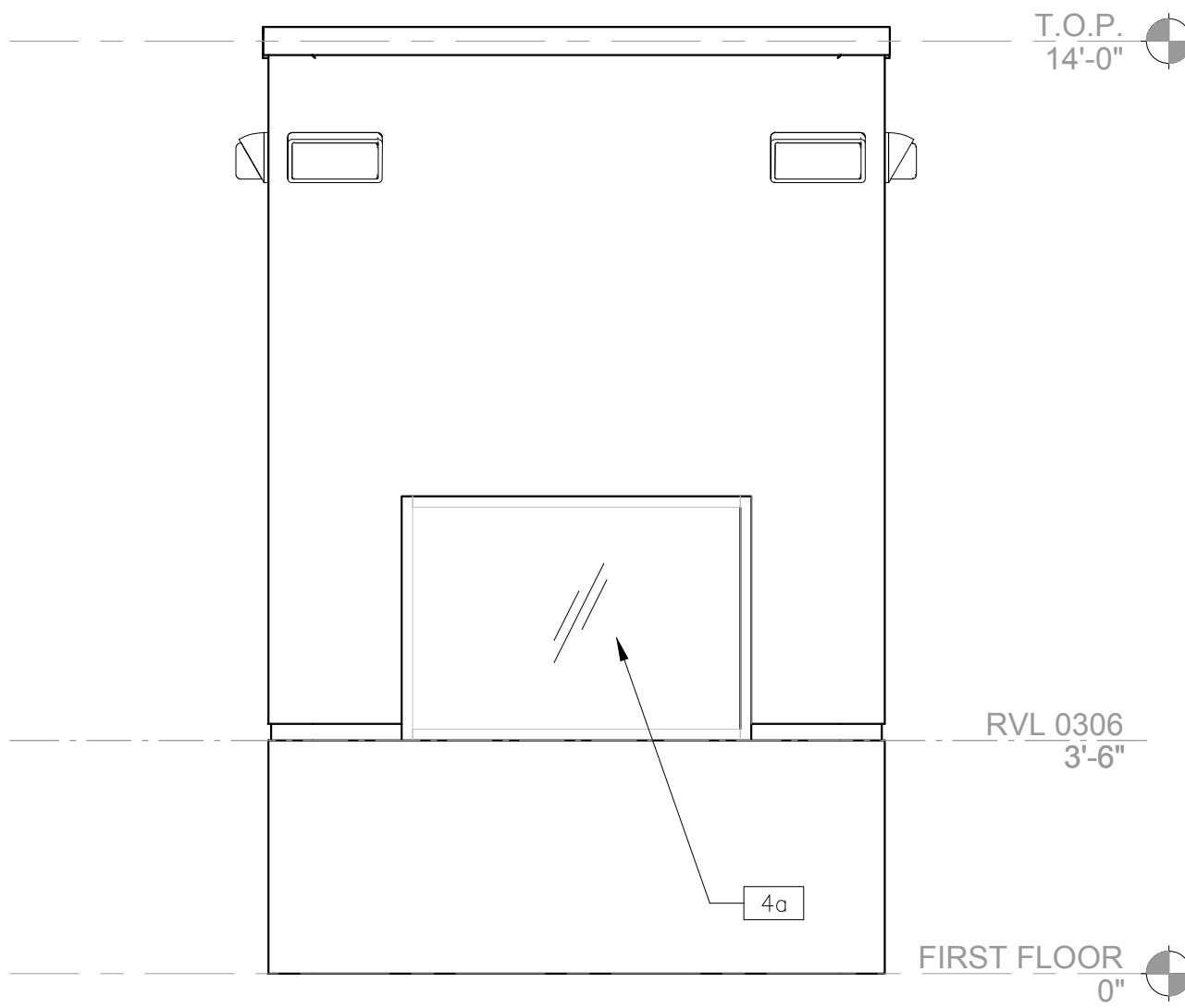
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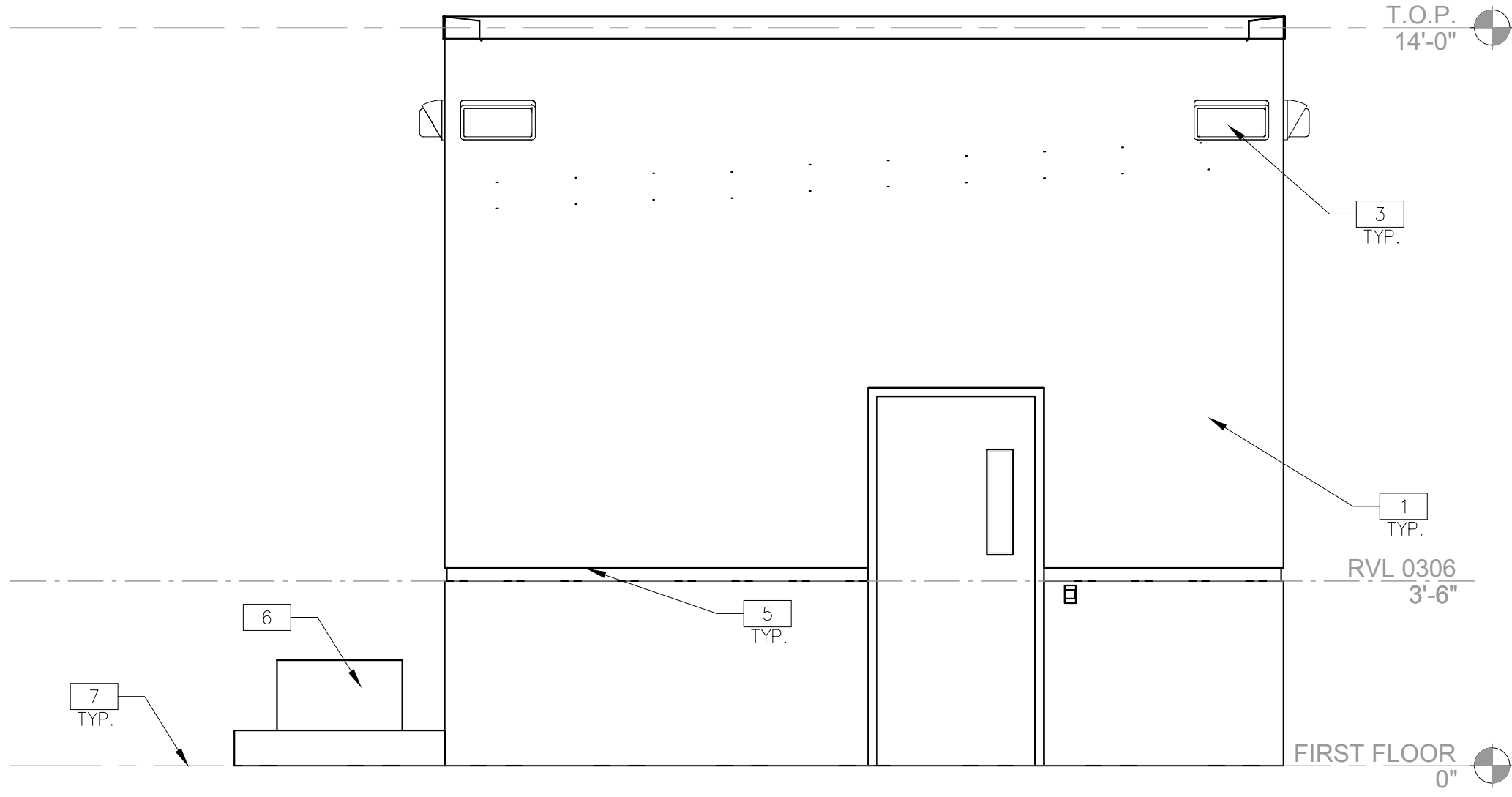




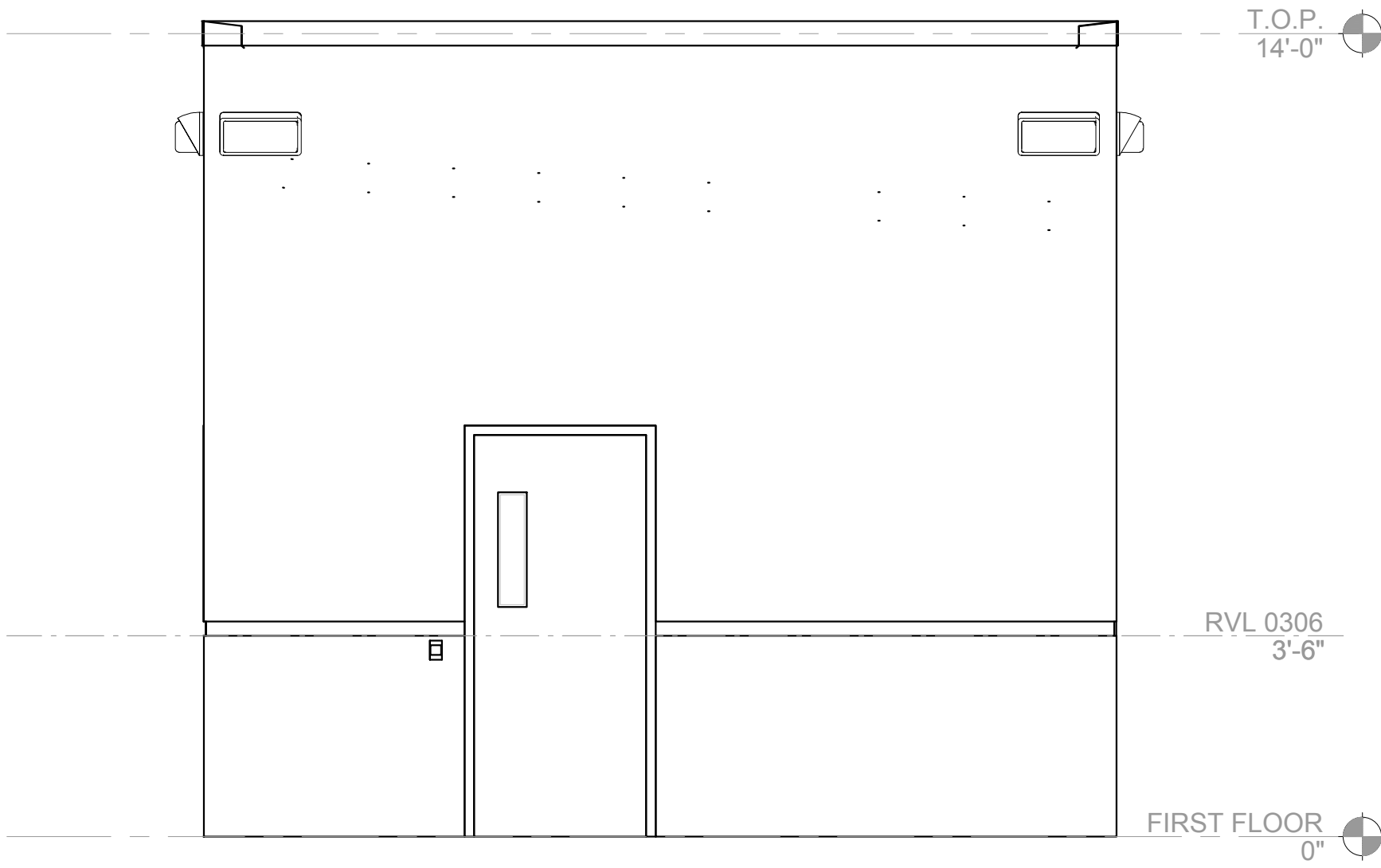
OUTBOUND GUARDHOUSE -SOUTH ELEVATION  
SCALE: 3/8" = 1'-0" 3



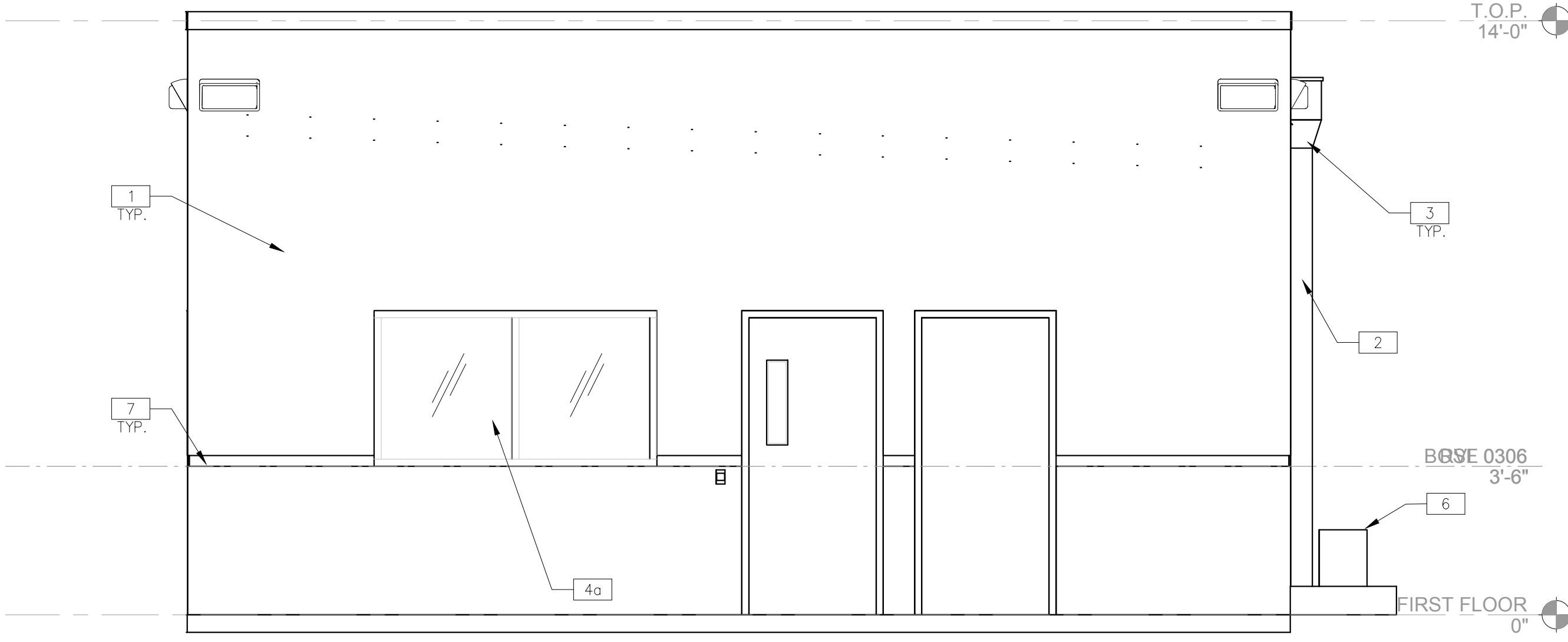
OUTBOUND GUARDHOUSE -NORTH ELEVATION  
SCALE: 3/8" = 1'-0" 2



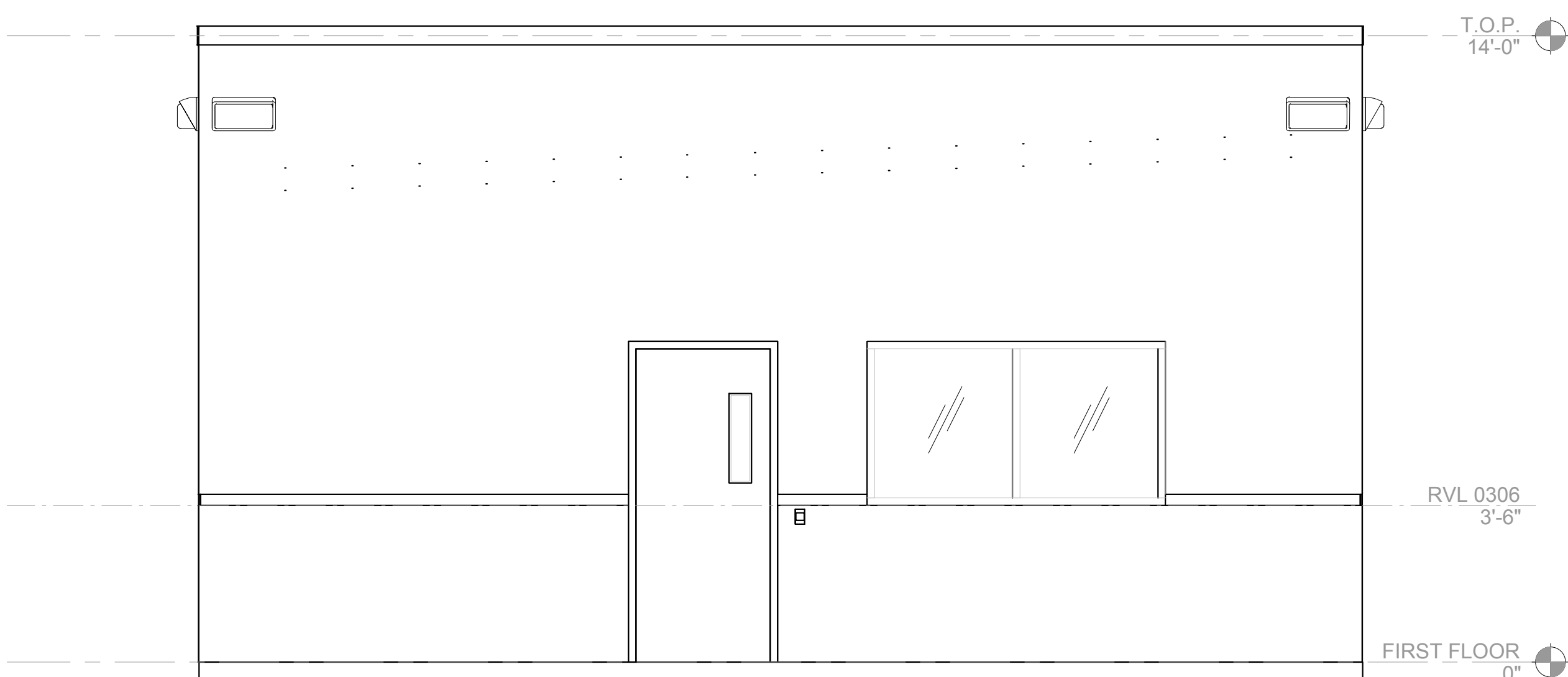
OUTBOUND GUARDHOUSE -EAST ELEVATION  
SCALE: 3/8" = 1'-0" 5



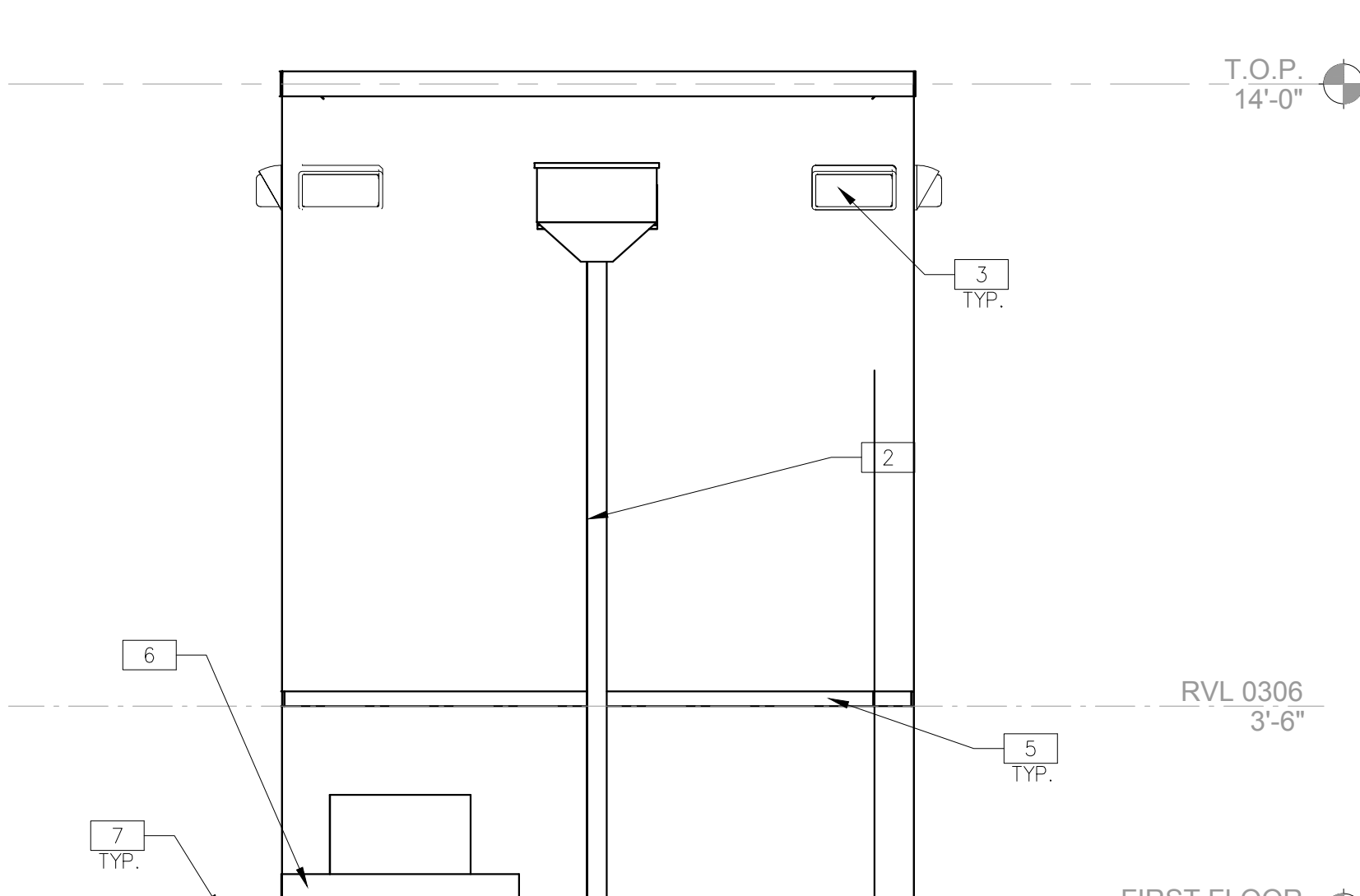
OUTBOUND GUARDHOUSE -WEST ELEVATION  
SCALE: 3/8" = 1'-0" 4



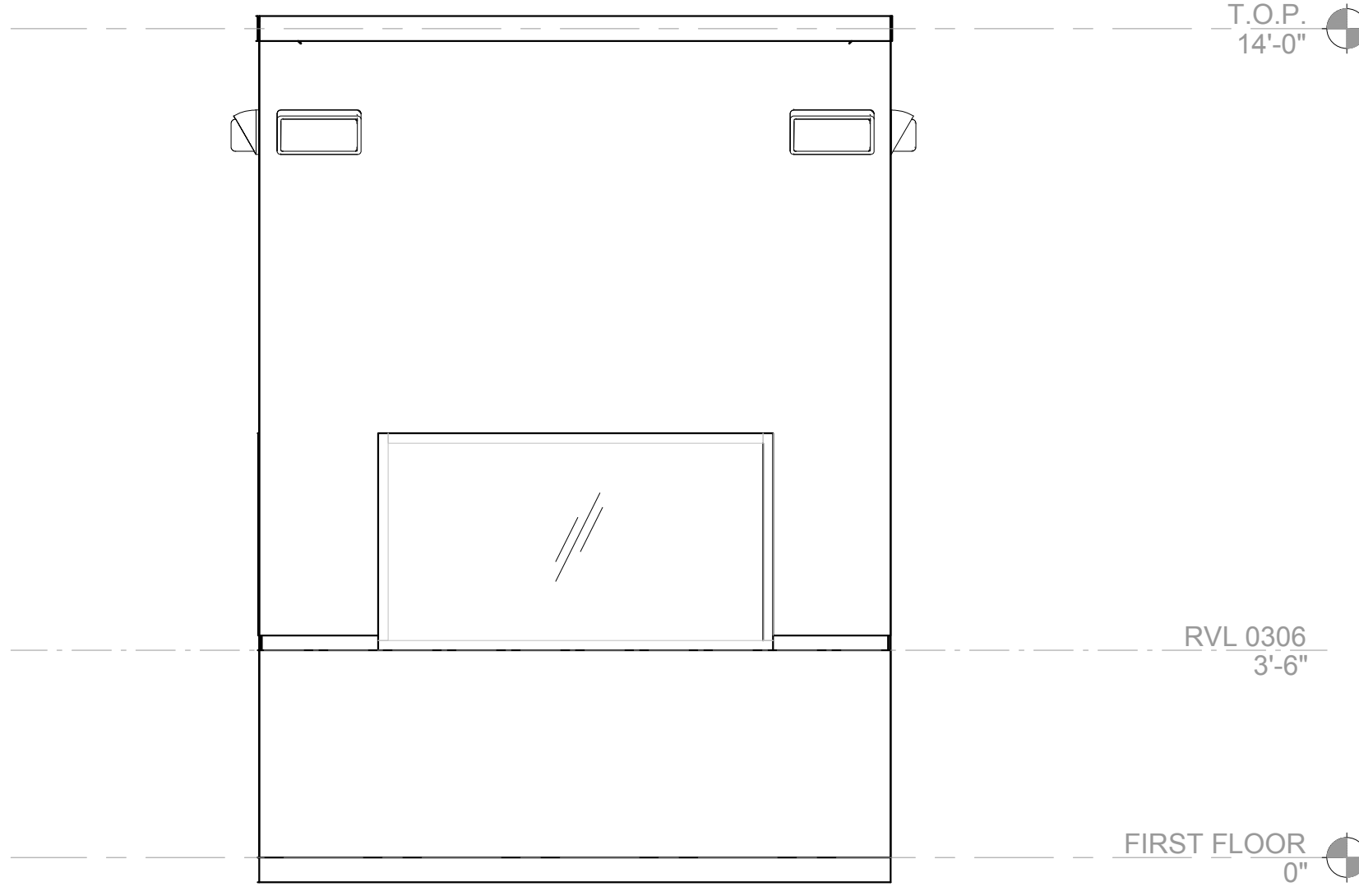
INBOUND GUARDHOUSE -SOUTH ELEVATION  
SCALE: 3/8" = 1'-0" 1



INBOUND GUARDHOUSE -NORTH ELEVATION  
SCALE: 3/8" = 1'-0" 6



INBOUND GUARDHOUSE -EAST ELEVATION  
SCALE: 3/8" = 1'-0" 7



INBOUND GUARDHOUSE -WEST ELEVATION  
SCALE: 3/8" = 1'-0" 8

### ELEVATION NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 1 TILT-UP CONCRETE.
- 2 EXTERIOR ROOF DRAIN DOWNSPOUT.
- 3 EXTERIOR LIGHT FIXTURE.
- 4 PREFINISHED ALUMINUM WINDOW SYSTEM WITH 1" INSULATED TEMPERED GLAZING.
- 4a PREFINISHED ALUMINUM SLIDING WINDOW W/1" INSULATED TEMPERED GLAZING.
- 5 REVEAL.
- 6 EQUIPMENT PAD.
- 7 FINISH GRADE VARIES, SEE CIVIL DRAWINGS..

### LEGEND

VISION GLASS

TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER  
SEPARATE PERMIT

architecture  
planning  
interiors  
graphics  
civil engineering

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

4688 Chabot Dr #300  
Pleasanton, CA 94588  
Tel: 925.244.9200  
Fax: 925.244.9201

**BUILDING 31 TRAILER  
STORAGE LOT**  
3740 SOUTH EAST AVENUE  
FRESNO, CA 93725

INBOUND AND OUTBOUND GUARDSHACK ELEVATIONS

PA/PM:	Approver
DRAWN BY:	Author
JOB NO.:	SNR17-0048-00

SHEET  
**A4.1**

8/27/2021 4:59:25 PM